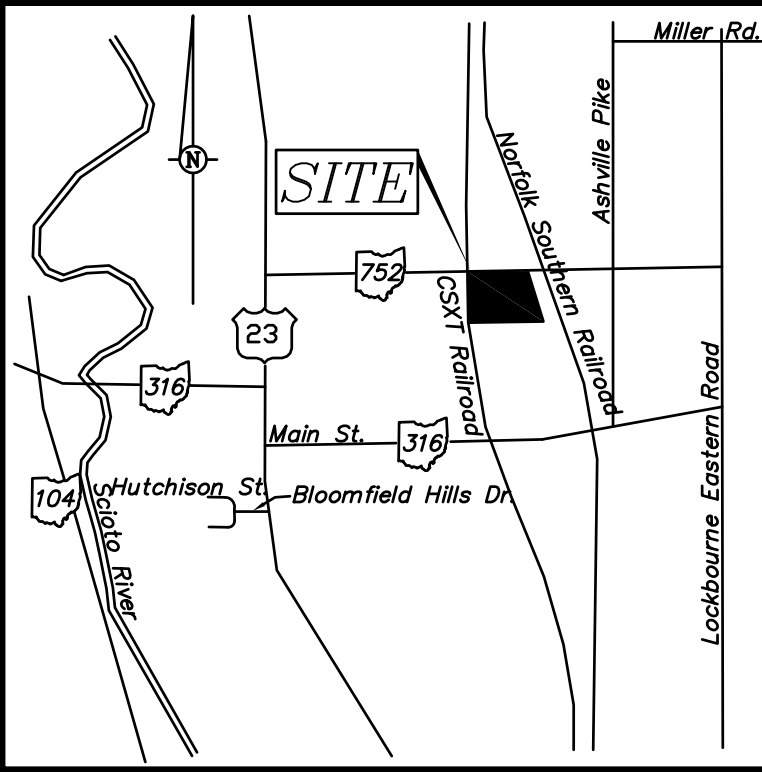
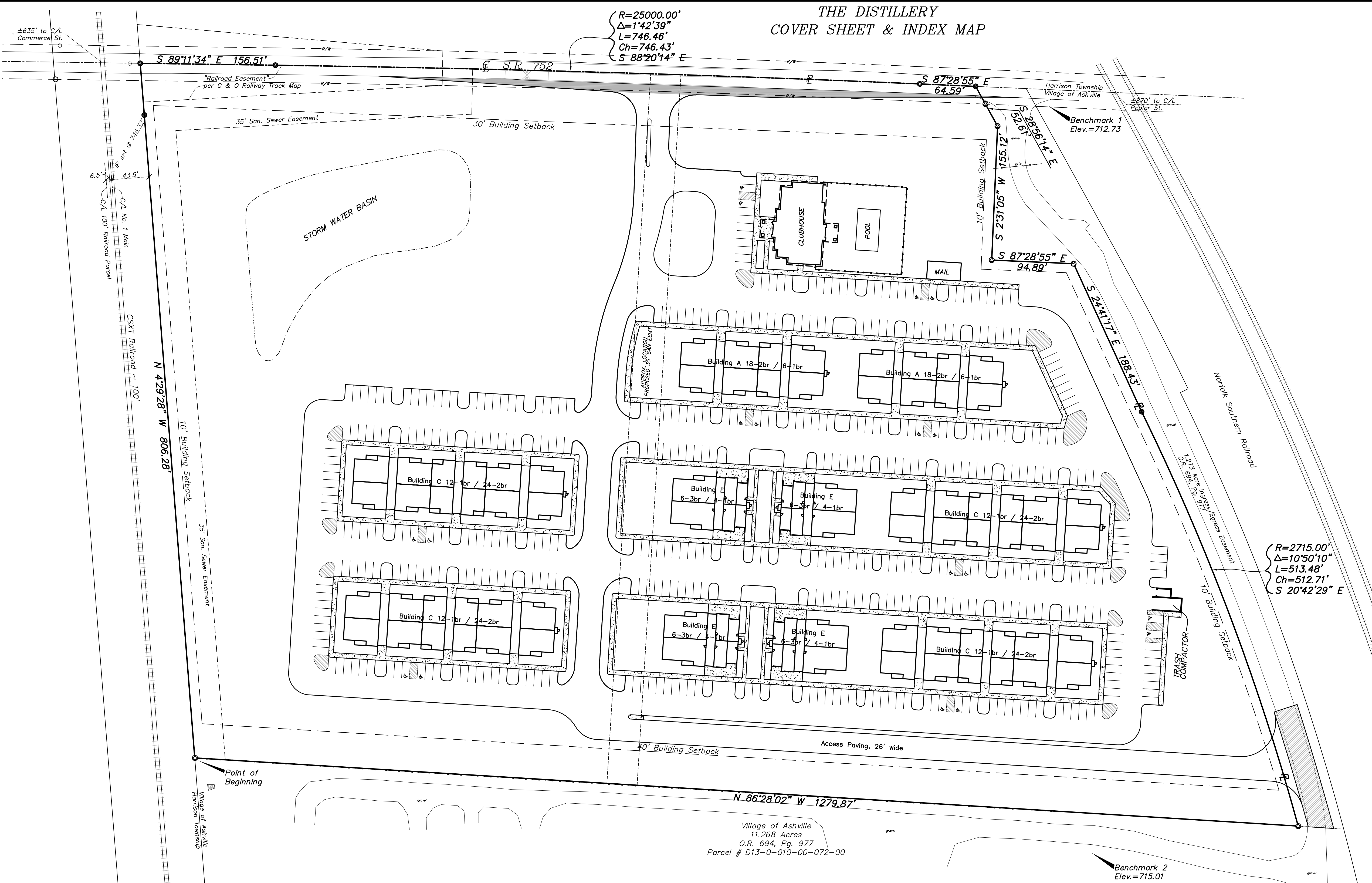


THE DISTILLERY
COVER SHEET & INDEX MAP



BENCHMARKS:
 Benchmark 1: The southwest corner of a concrete catch basin located approximately 85 feet east of the northeast corner of the site. Elevation=712.73 (NAVD 88 Datum).
 Benchmark 2: The north flange bolt on a fire hydrant located approximately 240 feet west of the southeast corner of the site. Elevation=715.01 (NAVD 88 Datum).
 The above benchmark elevations were assigned based on GPS observations using the Ohio Department of Transportation's CORS Network.

INDEX OF SHEETS
 COVER SHEET CE-1
 BOUNDARY & TOPOGRAPHIC SURVEY CE-2
 SITE DIMENSION & PAVING PLAN CE-3
 GRADING, DRAINAGE, & UTILITY PLAN CE-4

DEVELOPER:
 AB Contracting, Inc.
 Larry Wills
 614-323-8084
 larry.wills@yahoo.com

ARCHITECT:

DEVELOPMENT NOTES:
 Current zoning is Village of Ashville, AR (Apartment Residential District)
 Adjacent Zoning Classification(s): to the north - Harrison Twp., AL (Agricultural Land) to the east and south - Village of Ashville, CF (Community Facilities District) to the west - Village of Ashville, Incomplete or Incompatible with Usage
 Village of Ashville AR District Zoning Summary:
 Minimum Lot Area - 4,000 square feet per dwelling unit for all other multiple-family dwellings. This requirement may be reduced to 3,000 square feet per dwelling unit if approved by the Planning and Zoning Board, pursuant to Section 1143.06 below.
 (b) Minimum Lot Frontage. Eighty (80) feet of frontage on a publicly dedicated and improved street or highway.
 (c) Minimum Front Yard Depth. Thirty (30) feet.
 (d) Minimum Side Yard Width. Ten (10) feet.
 (e) Minimum Rear Yard Depth. Forty (40) feet.
 (f) Maximum Building Height. Thirty-five (35) feet.
 (g) Landscaping. If side or rear yards are located adjacent to any district where single family residences are a permitted use, landscaping and screening of those yards shall be required, pursuant to Chapter 1173. Such landscaping and/or screening shall consist of walls, fencing, mounding, natural vegetation or a combination of these elements, provided that such screening shall be at least seven (7) feet high or, if natural vegetation is used, capable of reaching seven (7) feet high within three (3) years of planting.
 (h) Storm Drainage. The application for rezoning into the AR District must include a plan showing how storm runoff will be addressed. The accommodation of storm drainage shall be consistent with the standards and requirements of the "Stormwater Design Manual (Mid-Ohio Regional Planning Commission; June, 1977) as may be subsequently amended.

(i) Trash and Garbage Control. All trash and garbage shall be stored in container systems which are located and enclosed so as to effectively screen them from view. The disposal of trash and maintenance of the area shall be the responsibility of the owner of the property.
 (j) Development Plan. In those cases where land is proposed to be rezoned from another zoning district into the AR District, a Development Plan, as described in Section 1131.02 (g) of this Ordinance shall be prepared and submitted to the Planning and Zoning Board, in addition to that material specified in Appendix A. The Development Plan shall be reviewed by the Planning and Zoning Board during the zoning amendment process. In approving a Development Plan, the Planning and Zoning Board shall find that the criteria specified in Section 1131.02 (g) have been met. (Ord. 2000-14, Passed 7-24-00).
1143.06 DENSITY BONUS.
 The Planning and Zoning Board may approve a density bonus, on a case-by-case basis, which would allow an overall density not to exceed 3,000 square feet of lot area per dwelling unit, if it finds that the following conditions exist:
 (a) The subject site is ten (10) acres or more and a minimum of forty (40) dwelling units is proposed.
 (b) The development is located directly adjacent to major thoroughfares as delineated on the Thoroughfare Plan.
 (c) Buildings are integrated with the natural features and architectural context of the surrounding area, and the applicant has shown that building design and site design is of high quality.
 (d) A minimum of twenty percent (20%) of the site is designated as permanent open space. The open space system shall provide for pedestrian and bicycle linkages to neighborhood facilities, parks, play areas. Assurances shall be provided that such open space shall be maintained by the owner of the development.

DEVELOPMENT SUMMARY:

Site Info:
 21.419 Acres, as conveyed to Clifton Brothers Land LLC in Official Record 775, Page 1149
 Parcel# D12-0-001-00-147-00

Buildings:	Units/Building:	Total Units:
2 - Bldg A	6 - 1 Bedroom	12
1 - Bldg B	18 - 2 Bedroom	36
4 - Bldg C	12 - 1 Bedroom	48
2 - Bldg D	24 - 2 Bedroom	96
4 - Bldg E	4 - 1 Bedroom	16
	6 - 3 Bedroom	24
Total:		232 Units

Parking provided: 464 Spaces + 18 Garage Spaces + 16 ADA = 498 total 2.0 spaces per unit with 34 additional spaces.
 All parking spaces shown are 9'x19' typical.

The project consists of 21.419 acres, of which 0.447 acres is within the S.R. 752 road right-of-way and 0.101 acres is part of the CSX Railroad easement exclusive of said road right-of-way. Net density 4021 s.f./Unit
 Project as shown has 45% of impervious surface (405,657 S.F.) and 55% of greenspace (503,497 s.f.) within the 20.871 acre developable acres.

PROJECT SCOPE OF WORK:
 This proposed project consists of development of ten 3-story apartment buildings with a total of 232 units. 76 - 1 Bedroom, 132 - 2 Bedroom, and 24 - 3 Bedroom units and a clubhouse, on a 21.419 acres parcel of land that is currently vacant and is consistent with the proposed Ashville AR zoning classification and surrounding existing and future uses. Construction activities will include construction of said apartment buildings, clubhouse, parking lot, trash collection facilities, and associated utilities. Proposed site design shown is compliant with all relevant AR zoning codes. Existing surrounding development consists of railroads along the east and west, State Route 752 and Harrison Township to the north, and the Ashville Water Resource Recovery Facility to the south.
 A formal landscaping plan will be designed and provided as part of the final engineering plan set and shall include all requirements under Section 1173. A landscape irrigation plan will be provided which utilizes the proposed retention pond as the source for the irrigation water.
 A photometric site lighting plan will be designed and supplied as art of the final engineering plan set.
 Conceptual sanitary sewer design to include 8" dia. gravity sewer, associated manholes and 6" dia. sanitary sewer laterals to serve each building. Fully engineered design to be supplied as part of the final engineering plan set.
 Conceptual water service design to include a master meter with 8" dia. water service loop with 10 fire hydrants. Each apartment building to have 2" dia. domestic service and fire service connection (to be sized based upon existing pressures). Each apartment building to be equipped with a Fire Department Connection (FDC). The clubhouse will be served by a 3/4" dia. domestic service. Fully engineered design to be supplied as part of the final engineering plan set.
 In conjunction with the proposed fire hydrant placement and FDC building connections, all proposed drive aisle sections to consist of 5.5' wide raised concrete sidewalk (sized to allow for vehicle overhang) and 19' deep parking stalls on either side or both sides of a 26' wide fire apparatus access compliant drive lane.
 Storm water design will consist of grading the site to provide sheet drainage and storm catch basins and piping as required to collect storm water in retention area(s). Storm water detention and water quality to be provided by the proposed retention area(s). Fully engineered design to be supplied as part of the final engineering plan set.

R=2715.00'
 Δ=10°50'10"
 L=513.48'
 Ch=512.71'
 S 20°42'29" E

Geo-Graphics Inc.
 Land Surveying & Civil Engineering
 3331 Livingston Avenue Columbus, Ohio 43227
 Phone: 614-231-2016 Fax: 614-231-2018
 Email: gschwitzer@geo-graphicsinc.com

George W. Schwitzer
 REGISTERED ENGINEER
 NUMBER 04-14-22
 DATE

Geo-Graphics, Inc.
 Land Surveying & Civil Engineering
 3331 Livingston Avenue Columbus, Ohio 43227
 Phone: 614-231-2016 Fax: 614-231-2018

DEVELOPMENT PLAN
THE DISTILLERY
 21.49 ACRES ~ STATE ROUTE 752
 VILLAGE OF ASHVILLE
 PICKAWAY COUNTY, OHIO

SCALE 1"=60'
 DRAWN R/W
 CHECKED GWS
 DATE 04-14-22
 SHEET CE-1

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SURVEY NOTES:

Basis of Bearings: The centerline of State Route 752 was assigned a bearing of South 87°28'55" East, as described for record in Official Record 775, Page 1149, Recorder's Office, Pickaway County, Ohio.

All linear dimensions shown are in feet and decimal parts thereof.

References to record plats and deeds are as shown on the drawing.

All iron pipes set are 3/4 inch inside diameter by 30 inches in length with an orange plastic cap marked "Geo Graphics".

Right of Way width of SR 752 unknown. 40' R/W shown per C & O Railway track map and Pickaway County GIS. Plans not available from Ohio Department of Transportation.

Benchmark 1: The southwest corner of a concrete catch basin located approximately 85 feet east of the northeast corner of the site. Elevation=712.73 (NAVD 88 Datum).

Benchmark 2: The north flange bolt on a fire hydrant located approximately 240 feet west of the southeast corner of the site. Elevation=715.01 (NAVD 88 Datum).

The above benchmark elevations were determined by GPS observations using the Ohio Department of Transportation CORS Network.

According to the Federal Emergency Management Agency's Flood Insurance Rate Map Number 39129 C 0180 J (Effective Date: July 22, 2010), the property surveyed and shown herein lies within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain).

Soil types shown are based on the United States Department of Agriculture Natural Resources Conservation Service's Web Soil Survey.

CrA Crosby silt loam, Southern Ohio Till Plain, 0 to 2 percent slopes
 Ko Kokomo silty clay loam, 0 to 2 percent slopes
 MkB Miamian-Kendallville silt loams, 2 to 6 percent slopes

There are no wetlands located on the subject 21.419 acre site per the United States Fish and Wildlife Service National Wetlands Inventory website. This statement should not be used as a substitute for an actual field wetlands delineation or Environmental Assessment Report.

The utilities and services shown on this drawing were located based upon observable field evidence and utility records supplied by the client. Underground lines were NOT physically located.

Trees, shrubs, irrigation lines, and any other landscape improvements were NOT located.

Field Location of Underground Utilities

1-800-362-2764

OUPS Reference Number: B133501923 & B133501925.

NOTES:

- ① Existing Aggregate Drive, 20' - 22' wide.
- ② Existing 24" Storm Sewer @ 0.08%

UTILITY SERVICES

Gas Service:
 Columbia Gas of Ohio, Inc.
 2101 West Main Street
 Springfield, Ohio 45504
 1-800-344-4077

Electric Service:
 South Central Power
 2780 Coonpath Rd. NE
 Lancaster, Ohio 43130
 1-800-282-5064

Water & Sewer Service:
 Village of Ashville
 200 Station St. E.
 Ashville, Ohio 43103
 740-983-6367

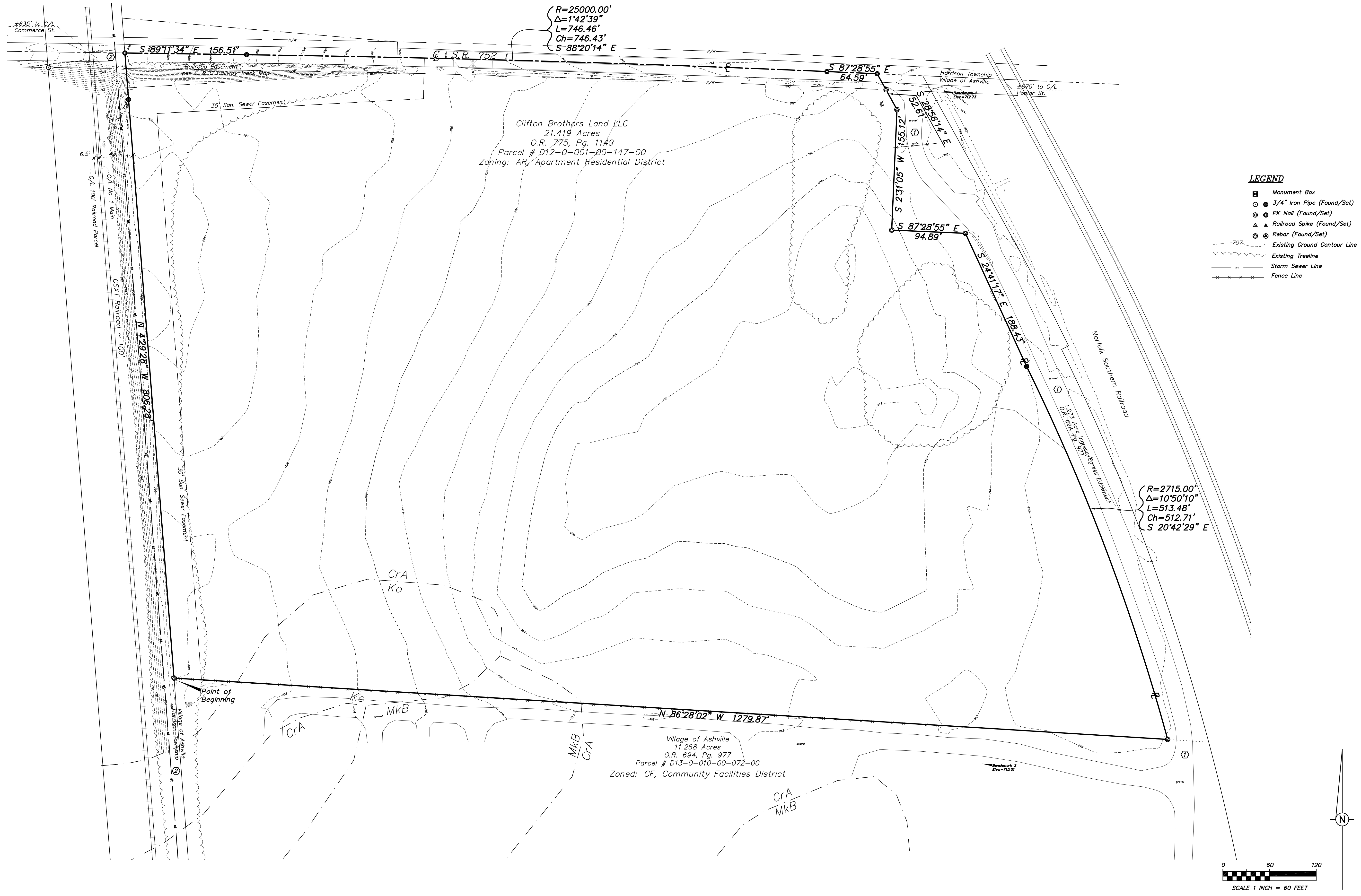
Building Regulations:
 Village of Ashville
 200 Station St. E.
 Ashville, Ohio 43103
 740-983-6367

Ohio Department of Transportation
 District 6
 400 East William St.
 Delaware, Ohio 43015
 740-833-8000

Pickaway County Engineer
 121 West Franklin St.
 Circleville, Ohio 43113
 740-474-3360

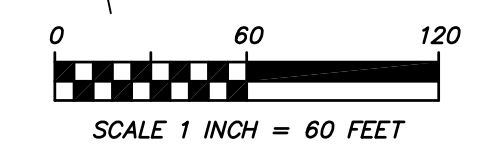
Field Location of Underground Utilities
 1-800-362-2764

BOUNDARY & TOPOGRAPHIC SURVEY
THE DISTILLERY
 SITUATED IN AND BEING PART OF
 SECTION 12, TOWNSHIP 2, RANGE 22
 VILLAGE OF ASHVILLE, PICKAWAY COUNTY, OHIO



LEGEND

- Monument Box
- 3/4" Iron Pipe (Found/Set)
- PK Nail (Found/Set)
- △ Railroad Spike (Found/Set)
- ⊙ Rebar (Found/Set)
- - - - - Existing Ground Contour Line
- - - - - Existing Treeline
- - - - - Storm Sewer Line
- - - - - Fence Line



Geo-Graphics, Inc.
 Lead Surveying & Civil Engineering
 3331 Livingston Avenue Columbus, Ohio 43227
 Phone: 614-231-2016 Fax: 614-231-2018

DEVELOPMENT PLAN
THE DISTILLERY
 21.419 ACRES ~ STATE ROUTE 752
 VILLAGE OF ASHVILLE
 PICKAWAY COUNTY, OHIO

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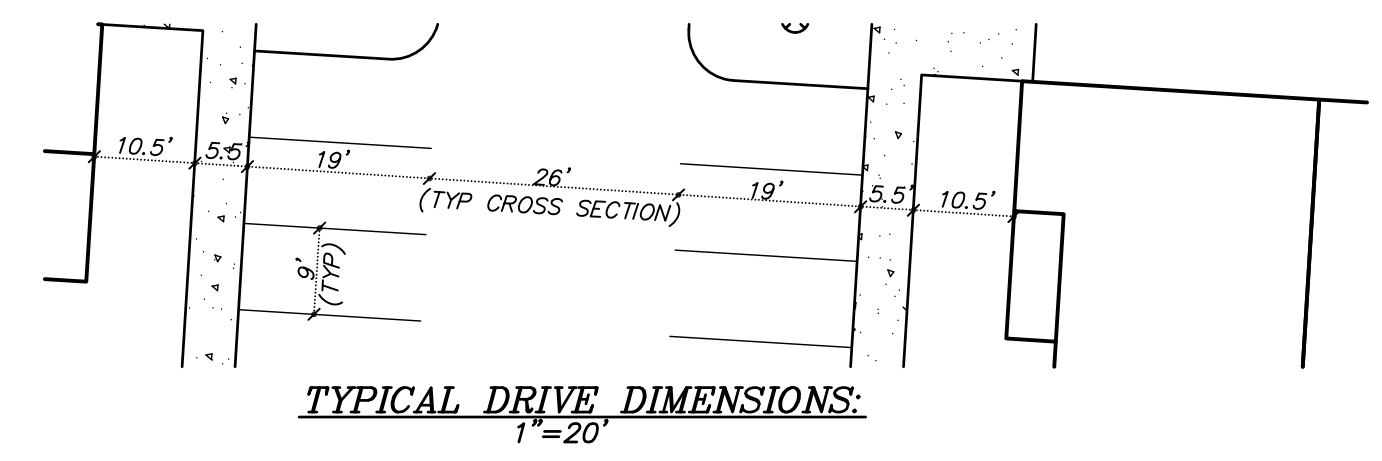
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 $\Delta=10^{\circ}50'10''$
 $L=513.48'$
 $Ch=512.71'$
 $S\ 20^{\circ}42'29''\ E$

GENERAL DEVELOPMENT LEGEND

- Proposed fencing
- Approximate proposed detention area

LEGEND

- 3/4" Iron Pipe (Found/Set)
- PK Nail (Found/Set)
- Rebar (Found/Set)
- Sign Pole
- Bollard
- Green Space Area
- Number of Parking Spaces
- Deciduous Tree
- Coniferous Tree
- Fence Line
- Curb
- Concrete
- Typical Dimensions
- Light Pole
- Approximate proposed storm water basin

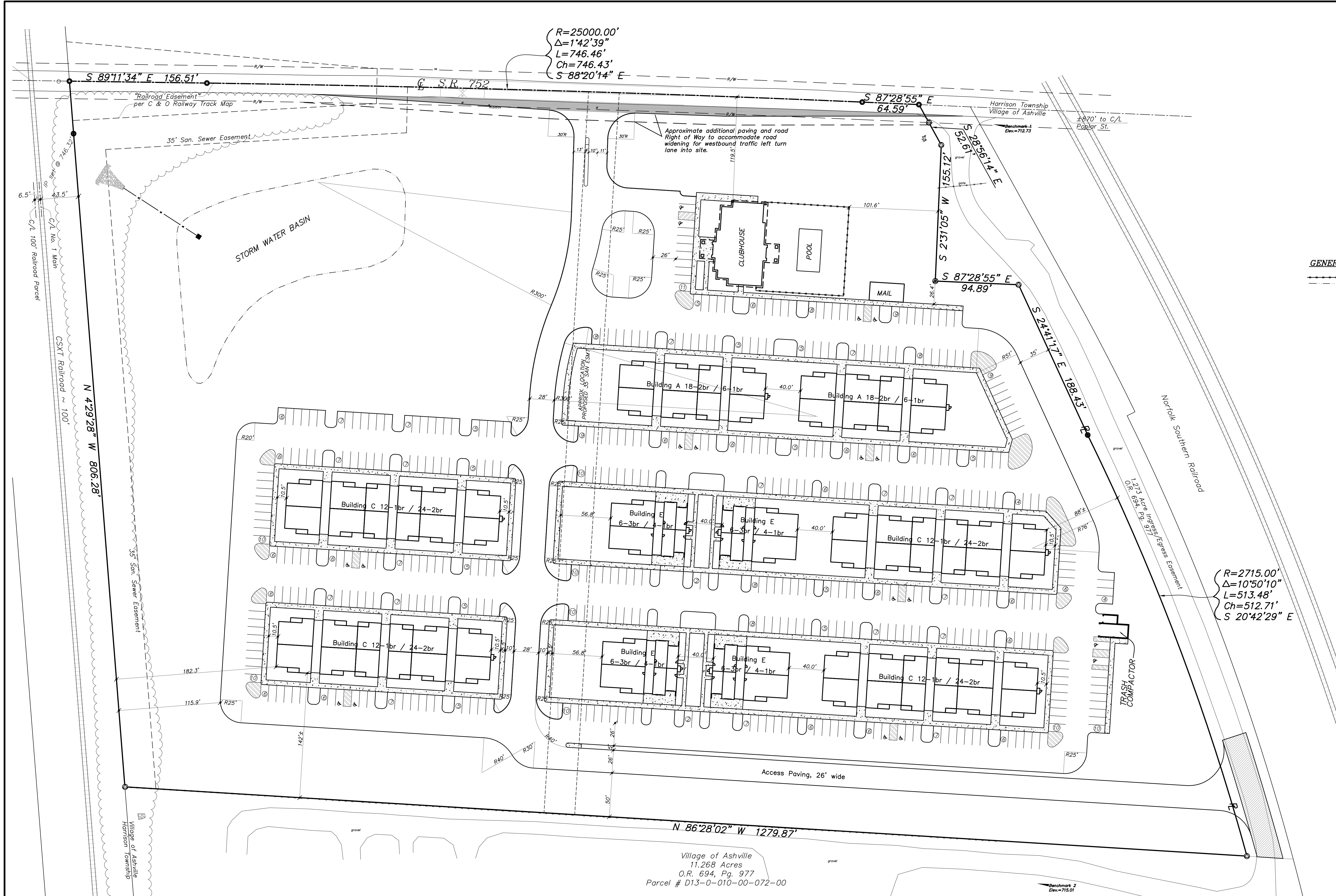


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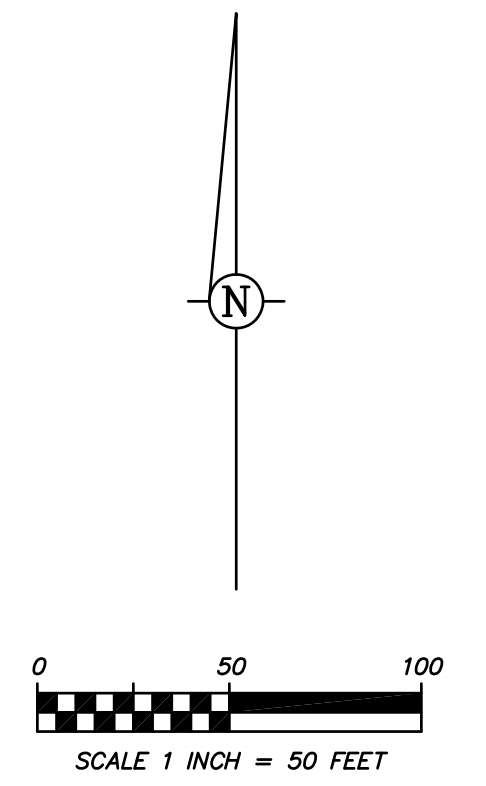
DEVELOPMENT PLAN
THE DISTILLERY
 21.49 ACRES ~ STATE ROUTE 752
 VILLAGE OF ASHVILLE
 PICKAWAY COUNTY, OHIO

Revised 0-00-00

SCALE 1"=50'	DRAWN K/W	CHECKED G/S	DATE 04-14-22	SHEET 02-3
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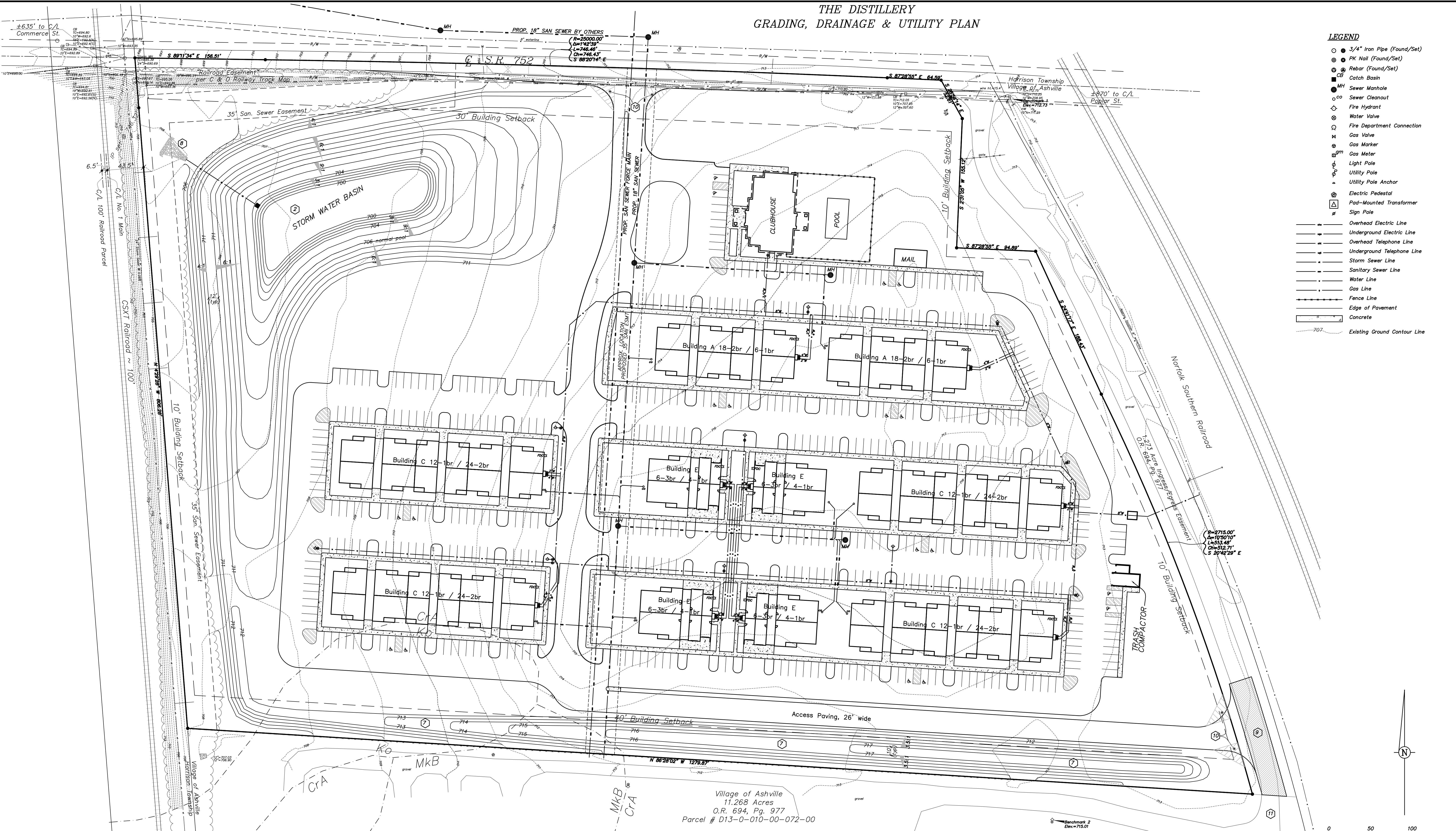


Village of Ashville
 11.268 Acres
 O.R. 694, Pg. 977
 Parcel # D13-0-010-00-072-00



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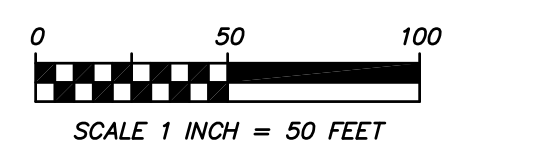
THE DISTILLERY
GRADING, DRAINAGE & UTILITY PLAN



LEGEND

- 3/4" Iron Pipe (Found/Set)
- PK Nail (Found/Set)
- ⊙ Rebar (Found/Set)
- ⊖ Catch Basin
- ⊙ Sewer Manhole
- ⊙ Sewer Cleanout
- ⊙ Fire Hydrant
- ⊙ Water Valve
- ⊙ Fire Department Connection
- ⊙ Gas Valve
- ⊙ Gas Marker
- ⊙ Gas Meter
- ⊙ Light Pole
- ⊙ Utility Pole
- ⊙ Utility Pole Anchor
- ⊙ Electric Pedestal
- ⊙ Pad-Mounted Transformer
- ⊙ Sign Pole
- Overhead Electric Line
- Underground Electric Line
- Overhead Telephone Line
- Underground Telephone Line
- Storm Sewer Line
- Sanitary Sewer Line
- Water Line
- Gas Line
- Fence Line
- Edge of Pavement
- Concrete
- Existing Ground Contour Line

- NOTES:**
- 1 Conceptual sanitary sewer design to include 8" dia. gravity sewer, associated manholes and 6" dia. sanitary sewer laterals to serve each building. Fully engineered design to be supplied as part of the final engineering plan set. Per the sanitary sewer department's request, each building shall have a separate waste line system installed which will collect the kitchen drains from each unit isolated from the other sewer lines and routed thru a grease trap installed outside the building prior to discharge into the sanitary sewer system.
 - 2 The existing site drains generally to the northwest and discharges to an existing 24" dia. storm sewer. The proposed storm water design will consist of grading the site to provide sheet drainage and storm catch basins placed in a sumped inverted crown pavement street section and piping as required to collect and direct storm water runoff to detention area(s). Storm water detention and water quality to be provided by the proposed storm water basin. Design may require dry detention basin storage versus pond with retention storage as shown. Fully engineered design to be supplied as part of the final engineering plan set.
 - 3 Conceptual water service design to include a master meter (meter to be installed in above ground heated hot box structure) with 8" dia. water service loop with 10 fire hydrants. Fire hydrants shall have a 4-1/2" steamer port (a 5-inch "Storz" fitting, with a 30 degree turn-down is required on all steamer port connections) and two additional 2-1/2" side discharge ports equipped with National Standard Hose Thread. (All threads provided for fire department connections to sprinkler systems, standpipe systems, yard hydrants or any other fire hose connection shall be compatible with the connections utilized by local fire department. All hydrants shall be installed, inspected, tested, and approved in accordance with NFPA 24 and meet the local water purveyor's hydrant specifications. All on site hydrants shall be private and painted red. Fully engineered design to be supplied as part of the final engineering plan set.
 - 4 Each building to have 2" dia. domestic service and fire service connection (to be sized based upon existing pressures). Each apartment building to be equipped with a Fire Department Connection (FDC) to have a 5-inch "Storz" fitting, with a 30 degree turn-down, for ALL FDC.). All FDC shall be required to pass a hydrostatic test (200# per 2 hours) as required for the building fire suppression system. All FDC lines shall be flushed prior to final approval and witnessed by the AHJ. FDC shall be labeled per AHJ - "HFD", and shall be permanently mounted on all fire department connections service fire sprinklers, standpipes, or fire pump connections. A Horn/Strobe light is to be installed on the outside wall above the FDC. All sprinkler control valves must be supervised with tamper devices connected to the fire supervisory system and to a central station alarm service.
 - 5 Where applicable, Know Rapid Entry System box (or boxes) shall be installed in a location determined by the Fire Authority Having Jurisdiction (AHJ), approximately 5 feet above grade. (AHJ will determine if additional secure key boxes are needed for large complexes.)
 - 6 All buildings shall have an approved radio coverage for emergency responders to meet Rule 5, Section 510 of the 2017 Ohio Fire Code.
 - 7 4' high earthen mound along the south property line to be established with a 10' crest. Coniferous tree row to be planted at a 30' O.C. spacing. Blue spruce is recommended. A hedge row of boxwood or other approved shrubbery to be established between said trees.
 - 8 Storm water basin to outlet via 102 lineal feet of 15" dia. pipe @ 0.7% outletting onto the ground surface via a level spreader, consisting of a combination of Type "C" and Type "D" Rock Channel Protection with a geotextile fabric filter. Fully engineered design to be supplied as part of the final engineering plan set.
 - 9 Approximate proposed 26' wide paved portion of off-site drive.
 - 10 30' clear vision triangle.
 - 11 Proposed heavy duty asphalt pavement to extend southerly at 26' (min.) width for approx. 765 LF; and is to generally to follow the existing aggregate drive there, to the northerly terminus of existing Rail Street pavement. At the most recent P&Z meeting, TF funding for this portion of the work was discussed. While the Developer is fully committed to completing this work, details of the cost reimbursement to the Developer for this work will need to be further negotiated with the Village. Revised: 6-20-20



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DEVELOPMENT PLAN
THE DISTILLERY
21.49 ACRES ~ STATE ROUTE 752
VILLAGE OF ASHVILLE
PICKAWAY COUNTY, OHIO

SCALE 1"=50'	DRAWN KWW	CHECKED GWS	DATE 04-14-22	SHEET CE-4
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