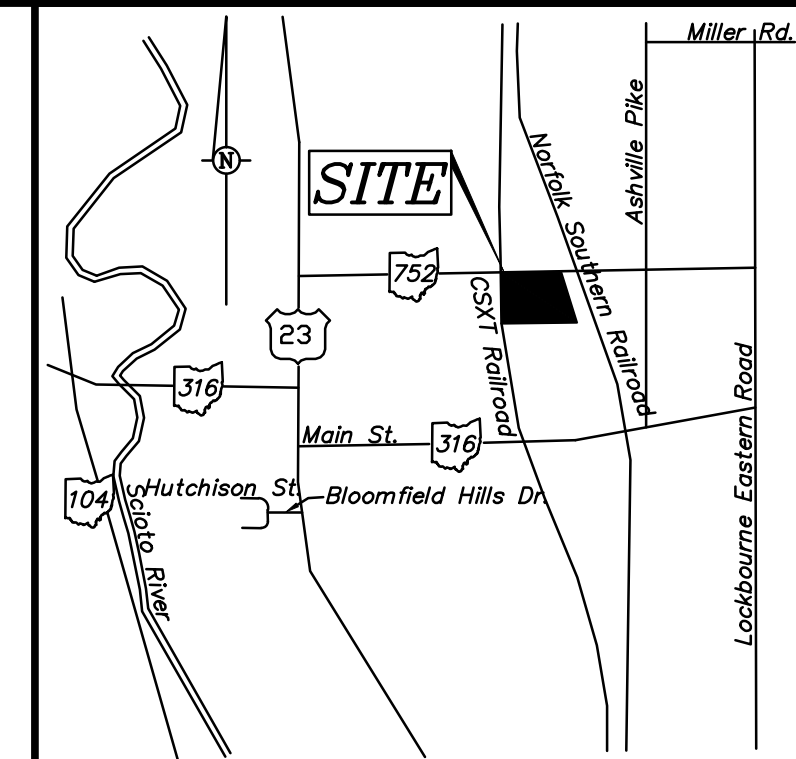
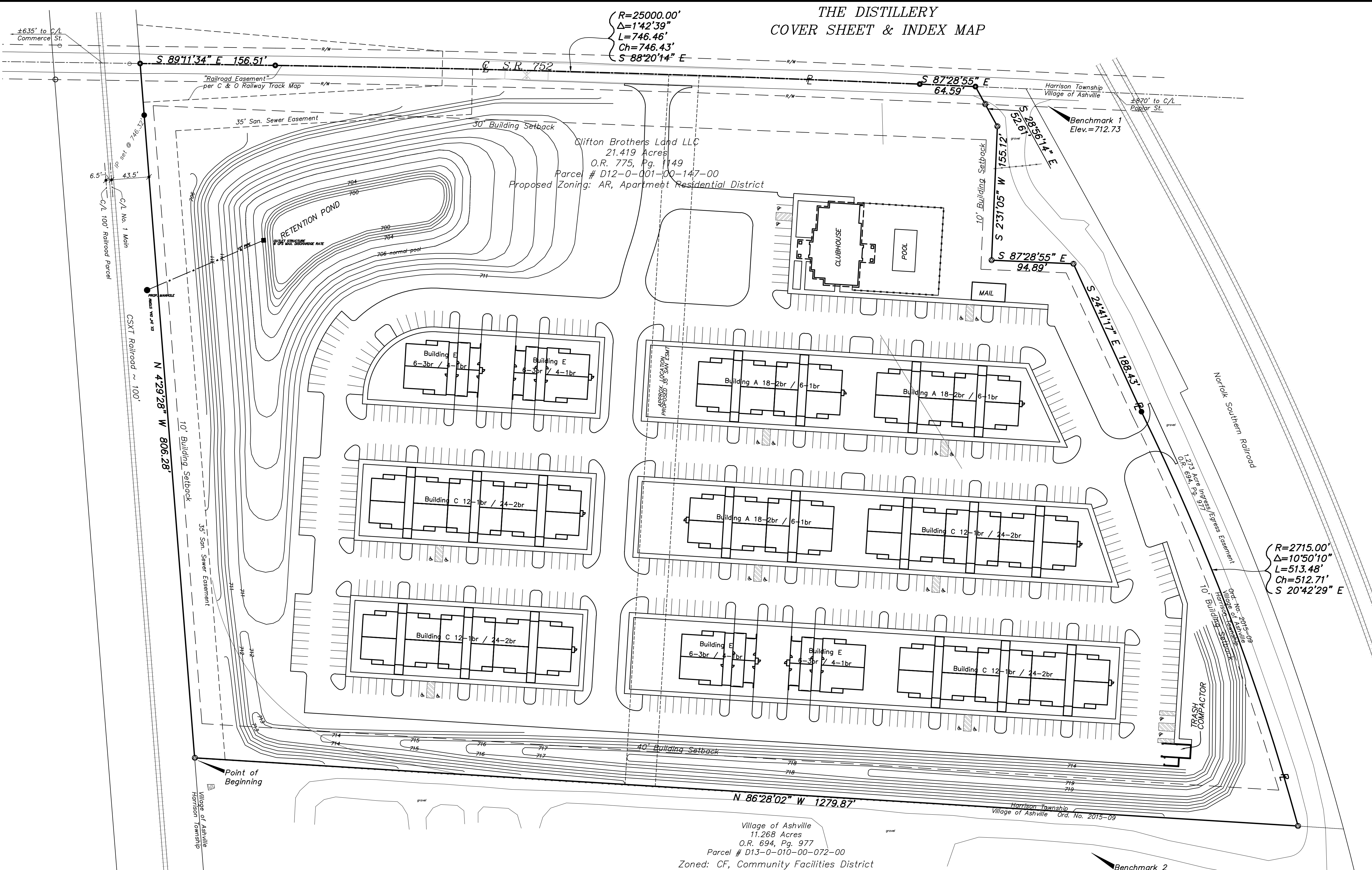


THE DISTILLERY
COVER SHEET & INDEX MAP



BENCHMARKS:

Benchmark 1: The southwest corner of a concrete catch basin located approximately 85 feet east of the northeast corner of the site. Elevation=712.73 (NAVD 88 Datum).

Benchmark 2: The north flange bolt on a fire hydrant located approximately 240 feet west of the southeast corner of the site. Elevation=715.01 (NAVD 88 Datum).

The above benchmark elevations were assigned based on GPS observations using the Ohio Department of Transportation's CORS Network.

INDEX OF SHEETS

COVER SHEET
BOUNDARY & TOPOGRAPHIC SURVEY
SITE DIMENSION & PAVING PLAN
GRADING, DRAINAGE, & UTILITY PLAN

CE-1
CE-2
CE-3
CE-4

DEVELOPER:

AB Contracting, Inc.
Larry Wills
614-323-8084
larry.wills@yahoo.com

ARCHITECT:

DEVELOPMENT NOTES:

Current zoning is AL (Agricultural Land) in Harrison Township, proposed annexation to the Village of Ashville. Proposed Ashville Zoning, AR (Apartment Residential District).
Adjacent Zoning Classification(s): to the north - Harrison Twp., AL (Agricultural Land) to the east and south - Village of Ashville, CF (Community Facilities District) to the west - Village of Ashville, Incomplete or Incompatible with Usage.
Village of Ashville AR District Zoning Summary:
Minimum Lot Area - 4,000 square feet per dwelling unit for all other multiple-family dwellings. This requirement may be reduced to 3,000 square feet per dwelling unit if approved by the Planning and Zoning Board, pursuant to Section 1143.06 below.
(b) Minimum Lot Frontage. Eighty (80) feet of frontage on a publicly dedicated and improved street or highway.
(c) Minimum Front Yard Depth. Thirty (30) feet.
(d) Minimum Side Yard Width. Ten (10) feet.
(e) Minimum Rear Yard Depth. Forty (40) feet.
(f) Maximum Building Height. Thirty-five (35) feet.
(g) Landscaping. If side or rear yards are located adjacent to any district where single family residences are a permitted use, landscaping and screening of those yards shall be required, pursuant to Chapter 1173. Such landscaping and/or screening shall consist of walls, fencing, mounding, natural vegetation or a combination of these elements, provided that such screening shall be at least seven (7) feet high or, if natural vegetation is used, capable of reaching seven (7) feet high within three (3) years of planting.
(h) Storm Drainage. The application for rezoning into the AR District must include a plan showing how storm runoff will be addressed. The accommodation of storm drainage shall be consistent with the standards and requirements of the Stormwater Design Manual (Mid-Ohio Regional Planning Commission; June, 1977) as may be subsequently amended.

(i) Trash and Garbage Control. All trash and garbage shall be stored in container systems which are located and enclosed so as to effectively screen them from view. The disposal of trash and maintenance of the area shall be the responsibility of the owner of the property.
(j) Development Plan. In those cases where land is proposed to be rezoned from another zoning district into the AR District, a Development Plan, as described in Section 1131.02 (g) of this Ordinance shall be prepared and submitted to the Planning and Zoning Board, in addition to that material specified in Appendix A. The Development Plan shall be reviewed by the Planning and Zoning Board during the zoning amendment process. In approving a Development Plan, the Planning and Zoning Board shall find that the criteria specified in Section 1131.02 (g) have been met. (Ord. 2000-14, Passed 7-24-00).
1143.06 DENSITY BONUS.
The Planning and Zoning Board may approve a density bonus, on a case-by-case basis, which would allow an overall density not to exceed 3,000 square feet of lot area per dwelling unit, if it finds that the following conditions exist:
(a) The subject site is ten (10) acres or more and a minimum of forty (40) dwelling units is proposed.
(b) The development is located directly adjacent to major thoroughfares as delineated on the Thoroughfare Plan.
(c) Buildings are integrated with the natural features and architectural context of the surrounding area, and the applicant has shown that building design and site design is of high quality.
(d) A minimum of twenty percent (20%) of the site is designated as permanent open space. The open space system shall provide for pedestrian and bicycle linkages to neighborhood facilities, parks, play areas. Assurances shall be provided that such open space shall be maintained by the owner of the development.

DEVELOPMENT SUMMARY:

Site Info:
21.419 Acres, as conveyed to Clifton Brothers Land LLC in Official Record 775, Page 1149
Parcel # D12-0-001-00-147-00
Buildings: Units/Building; Total Units:
3 - Bldg A 8 - 1 Bedroom 19
18 - 2 Bedroom 54
12 - 1 Bedroom 48
24 - 2 Bedroom 96
4 - 1 Bedroom 16
6 - 3 Bedroom 24
Total: 256 Units
Parking provided: 515 Spaces + 16 Garage Spaces + 20 ADA = 551 total 2.0 spaces per unit with 39 additional spaces.
All parking spaces shown are 9'x19' typical.

The project consists of 21.419 acres, of which 0.447 acres is within the S.R. 752 road right-of-way and 0.101 acres is part of the CSX Railroad easement exclusive of said road right-of-way, leaving the net developable area of 20.871 acres. Net density 3351 s.f./unit
Project as shown has 46% of impervious surface (418,436 S.F.) and 54% of greenspace (490,718 s.f.) within the 20.871 acre developable acres.

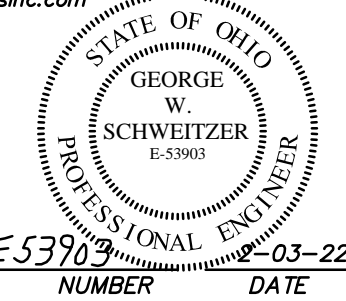
PROJECT SCOPE OF WORK:

This proposed project consists of development of eleven 3-story apartment buildings, with a total of 256 units. 82 - 1 Bedroom, 150 - 2 Bedroom, and 24 - 3 Bedroom units and a clubhouse, on a 21.419 acres parcel of land that is currently vacant and is consistent with the proposed Ashville AR zoning classification and surrounding existing and future uses. Construction activities will include construction of solid apartment buildings, clubhouse, parking lot, trash collection facilities, and associated utilities. Proposed site design shown is compliant with all relevant zoning codes. A Density Bonus is being sought for the proposed unit density. Existing surrounding development consists of railroads along the east and west, State Route 752 and Harrison Township to the north, and the Ashville Water Resource Recovery Facility to the south.
A formal landscaping plan will be designed and provided as part of the final development plans and shall include all requirements under Section 1173.
A photometric site lighting plan will be designed and supplied as art of the final development plans.
Conceptual sanitary sewer design to include approx. 1,420 linear feet of 8" dia. gravity sewer, associated manholes and 6" dia. sanitary sewer laterals to serve each building. Fully engineered design to be supplied as part of the development plans.
Conceptual water service design to include a master metered 8" dia. water service with 5 fire hydrants. Each building to have 1-1/2" dia. domestic service and fire service connection (to be sized based upon existing pressures). Each apartment building to be equipped with a FDC. Fully engineered design to be supplied as part of the final development plans.
Storm water design will consist of grading the site to provide sheet draining and storm catch basins and piping as required to collect storm water in retention area(s). Storm water detention and water quality to be provided by the proposed retention area(s). Fully engineered design to be supplied as part of the final development plans.
In conjunction with the proposed fire hydrant placement and FDC building connections, all proposed drive aisle sections to consist of 5.5' wide raised concrete sidewalk (sized to allow for vehicle overhang) and 19' deep parking stalls on either side or both sides of a 26' wide fire apparatus access compliant drive lane.

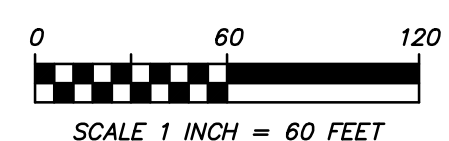
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L=513.48'
Ch=512.71'
S 20°42'29" E

R=25000.00'
Δ=1°42'39"
L=746.46'
Ch=746.43'
S 88°20'14" E

Geo-Graphics Inc.
Land Surveying & Civil Engineering
3331 Livingston Avenue Columbus, Ohio 43227
Phone: 614-231-2016 Fax: 614-231-2018
Email: gschweltzer@geo-graphicsinc.com



George W. Schweltzer E53903
REGISTERED ENGINEER NUMBER DATE



Geo-Graphics, Inc.
Land Surveying & Civil Engineering
3331 Livingston Avenue Columbus, Ohio 43227
Phone: 614-231-2016 Fax: 614-231-2018

DEVELOPMENT PLAN
THE DISTILLERY
21.49 ACRES ~ STATE ROUTE 752
VILLAGE OF ASHVILLE
PICKAWAY COUNTY, OHIO

SCALE 1"=60'	DRAWN K/W	CHECKED GWS	DATE 2-21-22	SHEET CE-1
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Revised: 0-00-00

SURVEY NOTES:

Basis of Bearings: The centerline of State Route 752 was assigned a bearing of South 87°28'55" East, as described for record in Official Record 775, Page 1149, Recorder's Office, Pickaway County, Ohio.

All linear dimensions shown are in feet and decimal parts thereof.

References to record plats and deeds are as shown on the drawing.

All iron pipes set are 3/4 inch inside diameter by 30 inches in length with an orange plastic cap marked "Geo Graphics".

Right of Way width of SR 752 unknown. 40' R/W shown per C & O Railway track map and Pickaway County GIS. Plans not available from Ohio Department of Transportation.

Benchmark 1: The southwest corner of a concrete catch basin located approximately 85 feet east of the northeast corner of the site. Elevation=712.73 (NAVD 88 Datum).

Benchmark 2: The north flange bolt on a fire hydrant located approximately 240 feet west of the southeast corner of the site. Elevation=715.01 (NAVD 88 Datum).

The above benchmark elevations were determined by GPS observations using the Ohio Department of Transportation CORS Network.

According to the Federal Emergency Management Agency's Flood Insurance Rate Map Number 39129 C 0180 J (Effective Date: July 22, 2010), the property surveyed and shown hereon lies within Zone "X" (Areas determined to be outside the 0.2% annual chance floodplain).

Soil types shown are based on the United States Department of Agriculture Natural Resources Conservation Service's Web Soil Survey.

CrA Crosby silt loam, Southern Ohio Till Plain, 0 to 2 percent slopes
 Ko Kokomo silty clay loam, 0 to 2 percent slopes
 MkB Miamian-Kendallville silt loams, 2 to 6 percent slopes

There are no wetlands located on the subject 21.419 acre site per the United States Fish and Wildlife Service National Wetlands Inventory website. This statement should not be used as a substitute for an actual field wetlands delineation or Environmental Assessment Report.

The utilities and services shown on this drawing were located based upon observable field evidence and utility records supplied by the client. Underground lines were NOT physically located.

Trees, shrubs, irrigation lines, and any other landscape improvements were NOT located.

Field Location of Underground Utilities

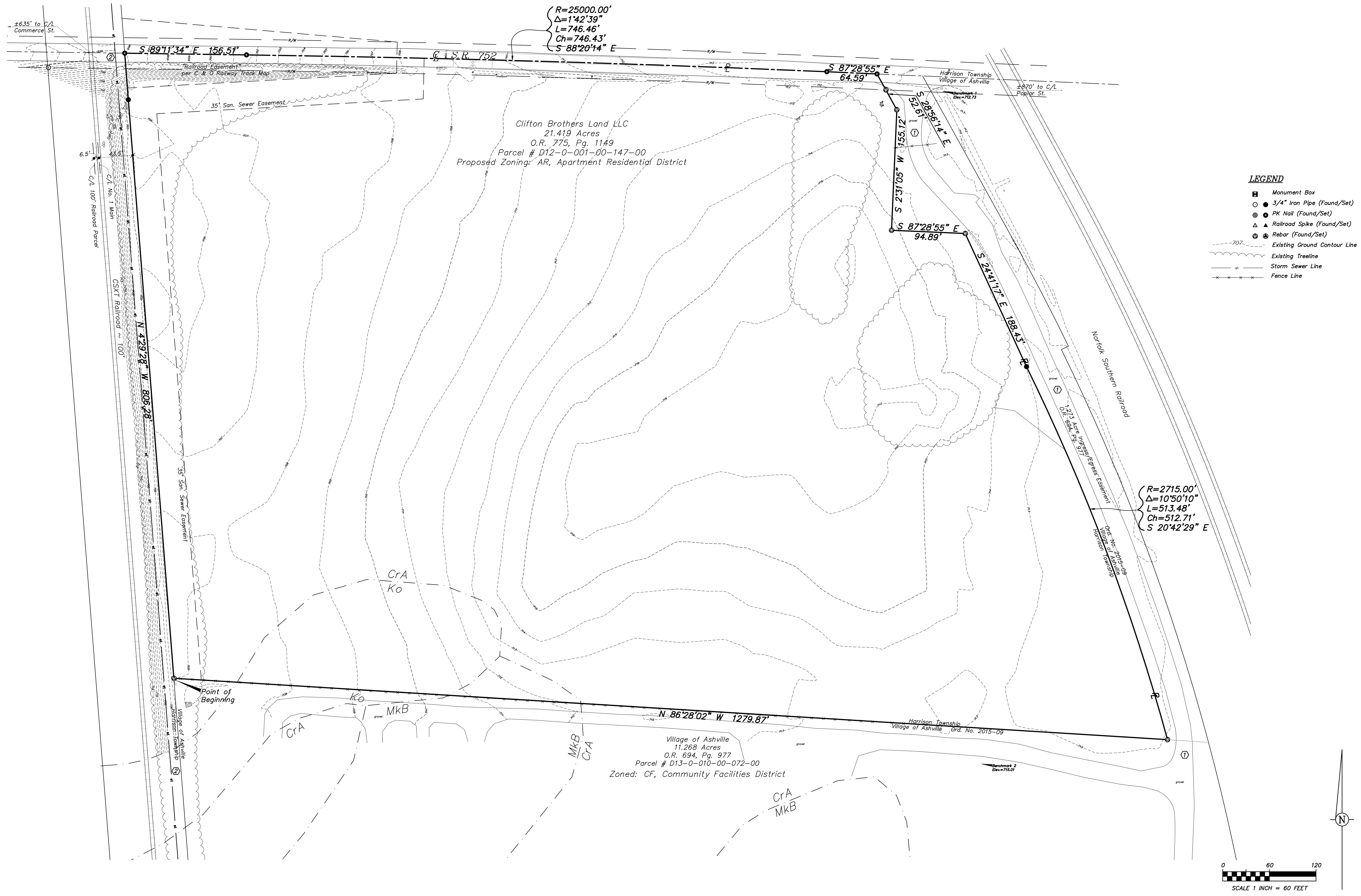
1-800-362-2764

OUPS Reference Number: B133501923 & B133501925.

NOTES:

- ① Existing Aggregate Drive, 20' - 22' wide.
- ② Existing 24" Storm Sewer @ 0.08%

BOUNDARY & TOPOGRAPHIC SURVEY
AB CONTRACTING, INC.
 SITUATED IN AND BEING PART OF
 SECTION 12, TOWNSHIP 2, RANGE 22
 (HARRISON TOWNSHIP/VILLAGE OF ASHVILLE), PICKAWAY COUNTY, OHIO



UTILITY SERVICES

Gas Service:
 Columbia Gas of Ohio, Inc.
 2101 West Main Street
 Springfield, Ohio 45504
 1-800-344-4077

Electric Service:
 South Central Power
 2780 Coonpath Rd. NE
 Lancaster, Ohio 43130
 1-800-282-5064

Water & Sewer Service:
 Village of Ashville
 200 Station St. E.
 Ashville, Ohio 43103
 740-983-6367

Building Regulations:
 Village of Ashville
 200 Station St. E.
 Ashville, Ohio 43103
 740-983-6367

Ohio Department of Transportation
 District 6
 400 East William St.
 Delaware, Ohio 43015
 740-833-8000

Pickaway County Engineer
 121 West Franklin St.
 Circleville, Ohio 43113
 740-474-3360

Field Location of Underground Utilities
 1-800-362-2764

R=2715.00'
 Δ=10°50'10"
 L=513.48'
 Ch=512.71'
 S 20°42'29" E

R=25000.00'
 Δ=1°42'39"
 L=746.46'
 Ch=746.43'
 S 88°20'44" E

Geo-Graphics, Inc.
 Land Surveying & Civil Engineering
 3331 Livingston Avenue Columbus, Ohio 43227
 Phone: 614-231-2016 Fax: 614-231-2018

DEVELOPMENT PLAN
THE DISTILLERY
 21.419 ACRES ~ STATE ROUTE 752
 VILLAGE OF ASHVILLE
 PICKAWAY COUNTY, OHIO

SCALE: 1"=60' DRAWN: KJ CHECKED: GWS DATE: 2-21-22 SHEET: 02-2

Revised: 00-00-00

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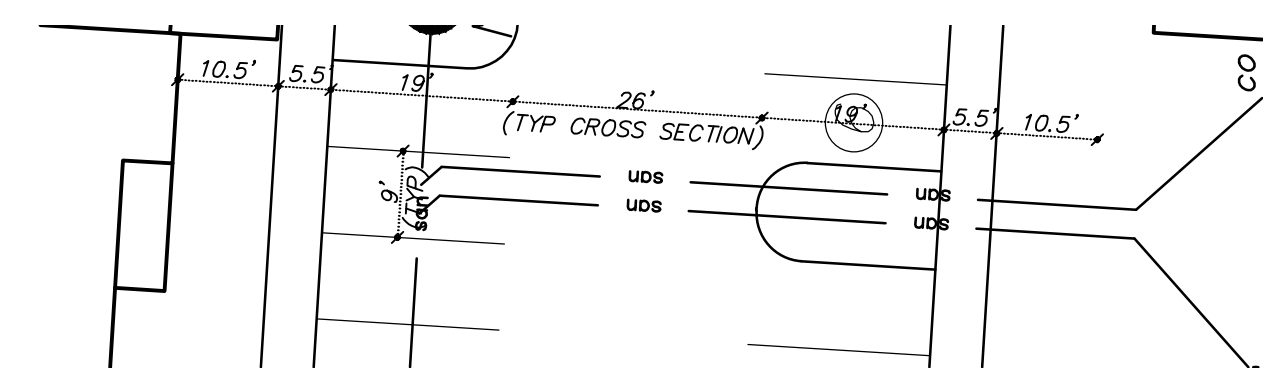
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 $L=513.48'$
 $Ch=512.71'$
 $S 20^{\circ}42'29'' E$

GENERAL DEVELOPMENT LEGEND

- Proposed fencing
- Approximate proposed detention area

LEGEND

- 3/4" Iron Pipe (Found/Set)
- PK Nail (Found/Set)
- Rebar (Found/Set)
- Sign Pole
- Ballard
- Green Space Area
- Number of Parking Spaces
- Deciduous Tree
- Coniferous Tree
- Fence Line
- Curb
- Concrete
- Typical Dimensions
- Light Pole
- Approximate proposed detention area



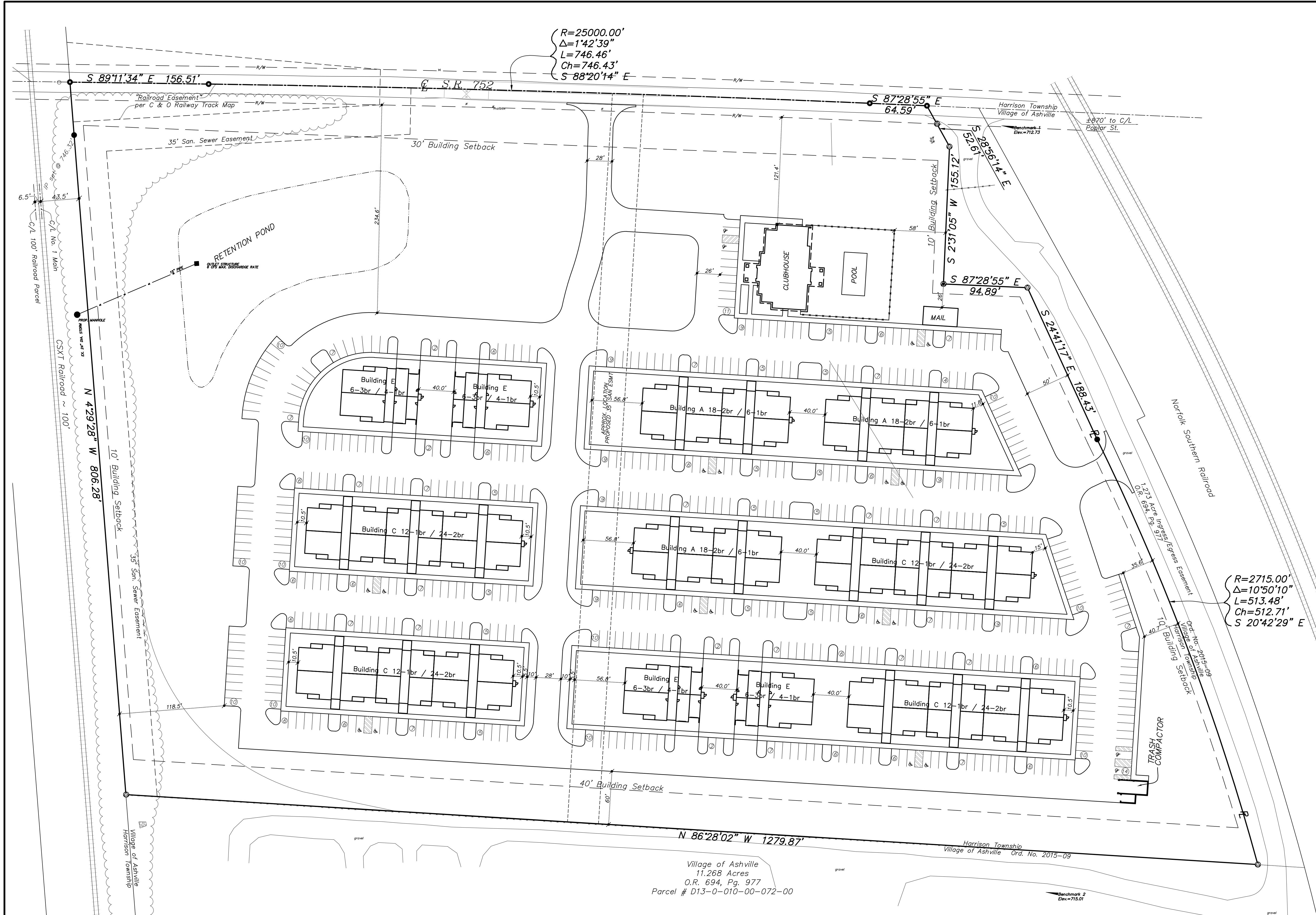
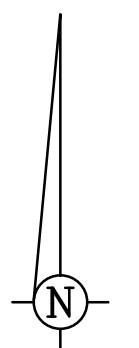
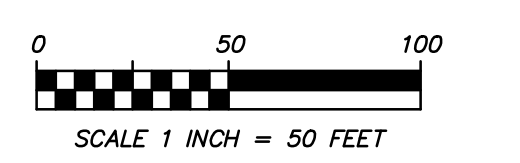
Village of Ashville
 11.268 Acres
 O.R. 694, Pg. 977
 Parcel # D13-0-010-00-072-00

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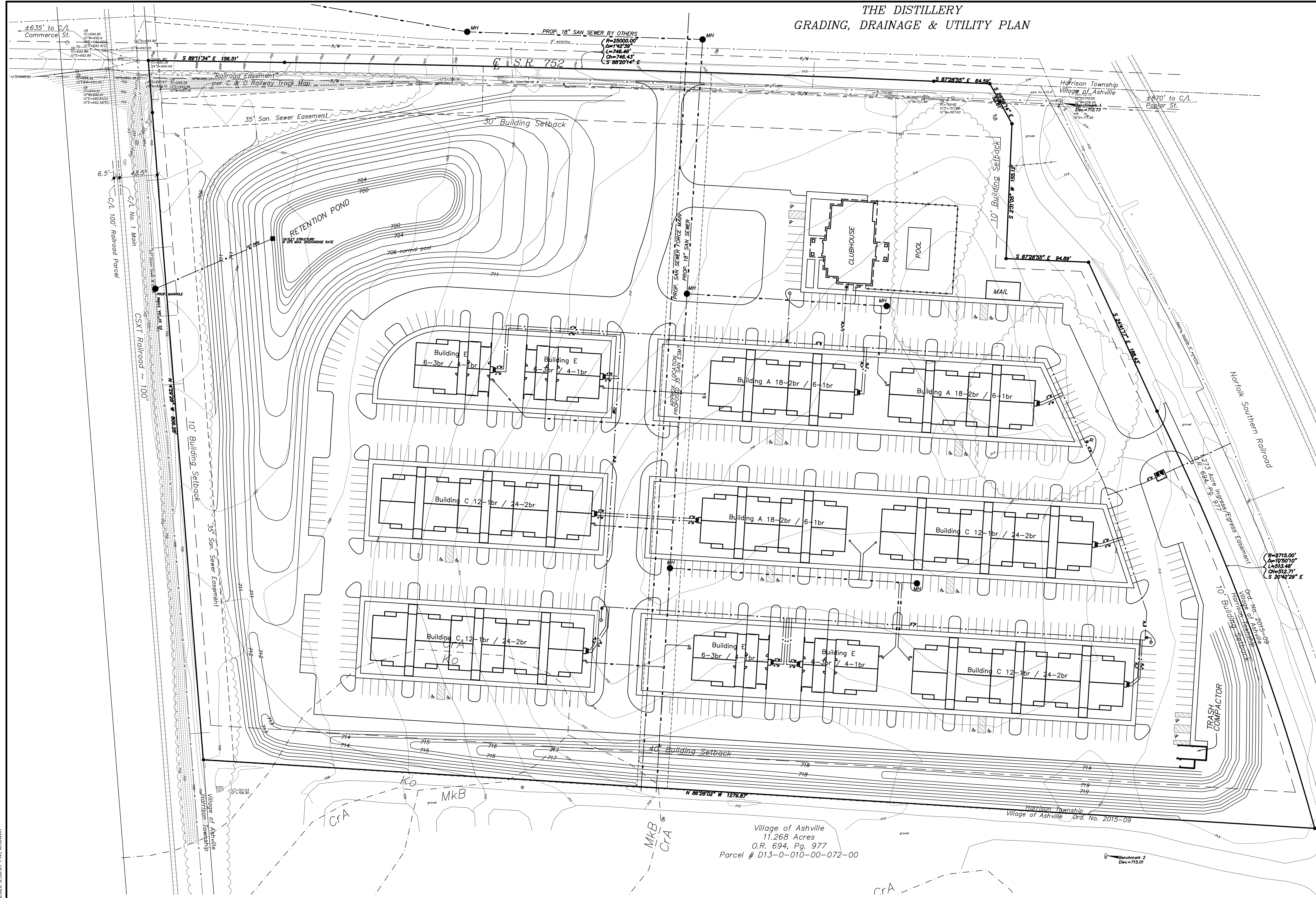
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Revised 0-00-00



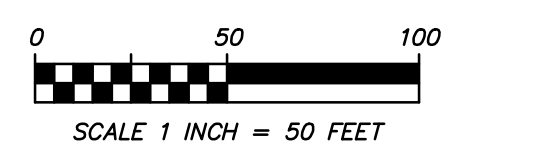
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THE DISTILLERY
GRADING, DRAINAGE & UTILITY PLAN



LEGEND

- 3/4" Iron Pipe (Found/Set)
- PK Nail (Found/Set)
- ⊙ Rebar (Found/Set)
- ⊙ CB Catch Basin
- ⊙ MH Sewer Manhole
- ⊙ Sewer Cleanout
- ⊙ Fire Hydrant
- ⊙ Water Valve
- ⊙ Fire Department Connection
- ⊙ Gas Valve
- ⊙ Gas Marker
- ⊙ Gas Meter
- ⊙ Light Pole
- ⊙ Utility Pole
- ⊙ Utility Pole Anchor
- ⊙ Electric Pedestal
- ⊙ Pad-Mounted Transformer
- ⊙ Sign Pole
- Overhead Electric Line
- - - Underground Electric Line
- Overhead Telephone Line
- - - Underground Telephone Line
- Storm Sewer Line
- Sanitary Sewer Line
- Water Line
- Gas Line
- Fence Line
- Edge of Pavement
- ▭ Concrete
- Existing Ground Contour Line



- NOTES:**
- 1 Conceptual sanitary sewer design to include approx. 1,420 lineal feet of 8" dia. gravity sewer, associated manholes and 6" dia. sanitary sewer laterals to serve each building. Fully engineered design to be supplied as part of the development plans.
 - 2 Conceptual water service design to include a master metered 8" dia. water service with 5 fire hydrants. Each building to have 1-1/2" dia. domestic service and fire service connection (to be sized based upon existing pressures). Each apartment building to be equipped with a FDC. Fully engineered design to be supplied as part of the final development plans.
 - 3 The existing site drains generally to the northwest and discharges to an existing 24" dia. storm sewer. The proposed storm water design will consist of grading the site to provide sheet draining and storm catch basins placed in a sumped pavement street section and piping as required to collect and direct storm water to detention area(s). Storm water detention and water quality to be provided by the proposed detention area(s). Fully engineered design to be supplied as part of the final development plans.
 - 4 Proposed sanitary sewer mainline extension shown as per "Master Offsite Sanitary Study" prepared by Watcon, dated May 12, 2021.

Village of Ashville
11.268 Acres
O.R. 694, Pg. 977
Parcel # D13-0-010-00-072-00

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DEVELOPMENT PLAN
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21.49 ACRES ~ STATE ROUTE 752
VILLAGE OF ASHVILLE
PICKAWAY COUNTY, OHIO

SCALE 1"=50' DRAWN KMW CHECKED GWS DATE 2-21-22 SHEET CE-4

Revised: 0-00-00

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